

REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: COVER SHEET		DRAWING NO: 0000		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
B	02/09/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439

ARCHITECTURAL

SHEET	SHEET NAME	REV	DATE
0000	COVER SHEET	B	02/09/2025
0001	BASIX NOTES	B	02/09/2025
0100	EXISTING PLAN	B	02/09/2025
0200	DEMO PLAN	B	02/09/2025
0300	PROPOSED PLAN	B	02/09/2025
0400	BATHROOM WATERPROOFING DETAILS	B	02/09/2025
0500	WATERPROOFING DETAILS	B	02/09/2025
0501	WATERPROOFING DETAILS	B	02/09/2025
0600	FIRE RATING DETAILS	B	02/09/2025
0700	ACOUSTIC DETAILS	B	02/09/2025

GENERAL NOTES

INTENT OF DOCUMENTS:

WHILE EVERY CARE HAS BEEN TAKEN IN THE PREPARATION OF THE CONTRACT DOCUMENTS, IT REMAINS THE BUILDER'S RESPONSIBILITY TO INCLUDE ANY OBVIOUS WORK WHICH IS IN KEEPING WITH GOOD BUILDING PRACTICE AND IS NOT NECESSARILY SHOWN ON, OR INCLUDED IN THE CONTRACT DOCUMENTS.

NCC AND AUSTRALIAN STANDARDS:

THE BUILDER IS TO ENSURE THAT THE WORK IS CARRIED OUT IN ACCORDANCE WITH THE NCC AND ALL RELEVANT AUSTRALIAN STANDARDS AS WELL AS THE DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE.

MANUFACTURER'S SPECIFICATION:

ALL PROPRIETARY ITEMS TO BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S DETAILS AND SPECIFICATION.

SPECIALIST CONSULTANTS DOCUMENTATION AND REPORTS:

THE BUILDER IS TO ENSURE THAT THE WORK IS CARRIED OUT IN ACCORDANCE WITH ALL SPECIALIST CONSULTANTS DOCUMENTATION, INCLUDING BUT NOT LIMITED TO ACCESS, ACOUSTIC, BASIX, BCA, ELECTRICAL, FIRE, LANDSCAPE, MECHANICAL, STRUCTURAL, HYDRAULIC, STORMWATER, TRAFFIC, AND ROAD-FRONTAGE AS RELEVANT TO THE PROJECT.

CONFIRM ALL EXISTING DIMENSIONS ON SITE

ALL DIMENSIONS SHOWN ARE INDICATIVE ONLY. REFER TO DESIGN DRAWINGS BY DESIGNER FOR DETAILED DIMENSIONAL SETOUTS OF ALL ELEMENTS.

ALL FIXTURES, FITTINGS AND MATERIALS SHOWN ARE INDICATIVE ONLY.

REFER TO DESIGN DRAWINGS AND SPECIFICATIONS BY DESIGNER FOR DETAILS OF SELECTIONS OF FIXTURES, FITTINGS AND MATERIALS.



FOR CONSTRUCTION

Document Notes
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LEGEND:

PROJECT:

#XXXX
APARTMENT
RENOVATION
XXXX

CLIENT: XXXX

DRAWING TITLE:

COVER SHEET

SHEET NUMBER:

0000

DATE: 02/09/2025

REV:

B

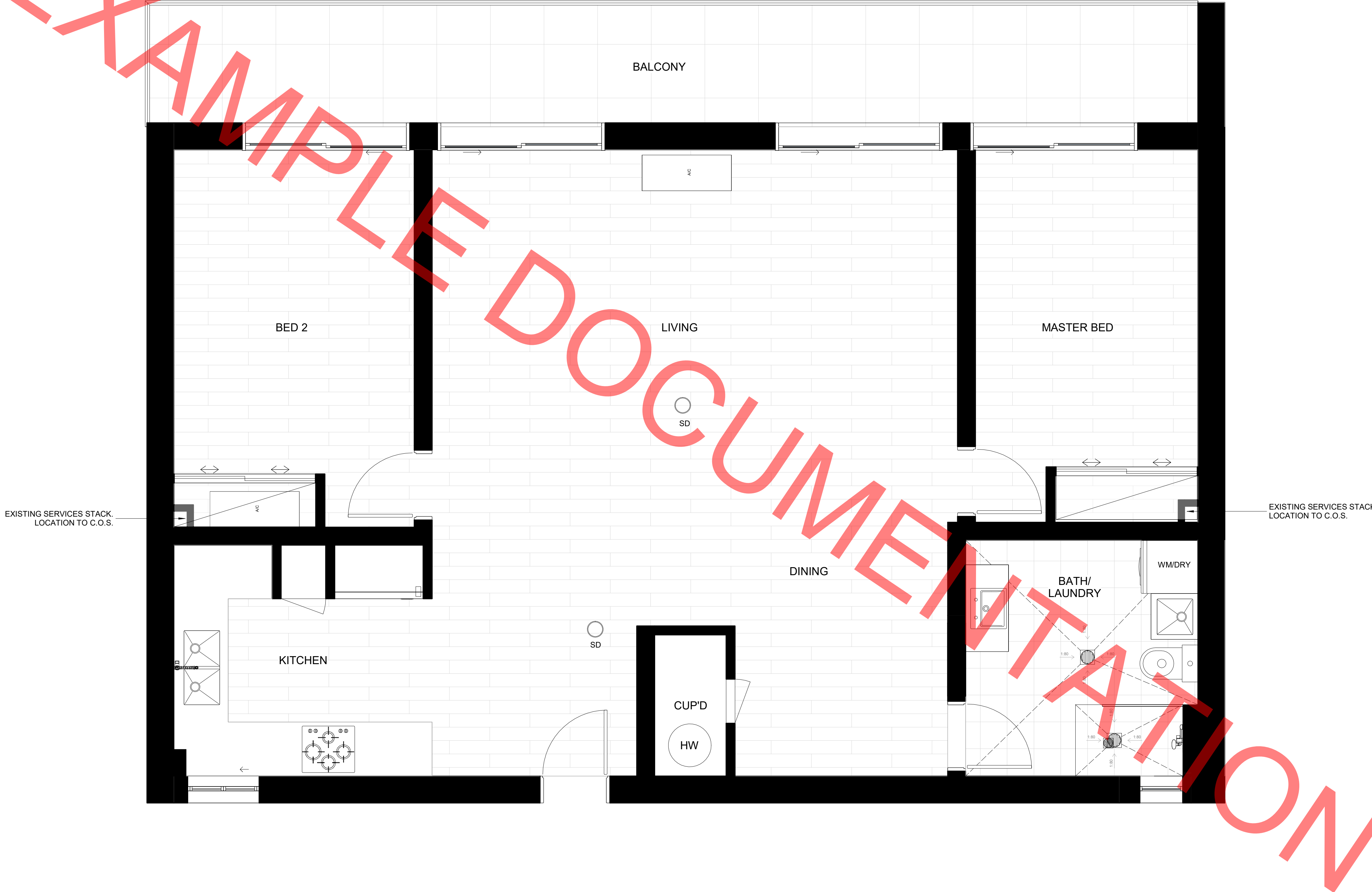
ARCHITECT:

C2A

Class 2 Architects

CLASS 2 ARCHITECT PART OF PLACE GROUP |
LS140 WILLIAM ST, WOOLLOOMOO NSW 2011
T | 61 (02) 9456 8912 | J.ALEXANDER-HATZIPLIS NSW ARB #10535
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REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: EXISTING PLAN		DRAWING NO: 0100		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
B	02/09/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439





1 EXISTING PLAN
SCALE 1 : 25

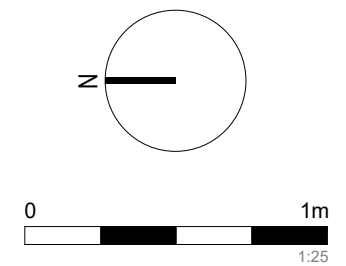
Document Notes
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LEGEND:

-  EXISTING FLOOR WASTE TO REMAIN IN PLACE
-  EXISTING SMOKE DETECTOR TO REMAIN IN PLACE, LOCATION TO BE CONFIRM ON SITE. AS PER AS3786-2014.



PROJECT:
#XXXX
APARTMENT RENOVATION
XXXX
CLIENT: XXXX

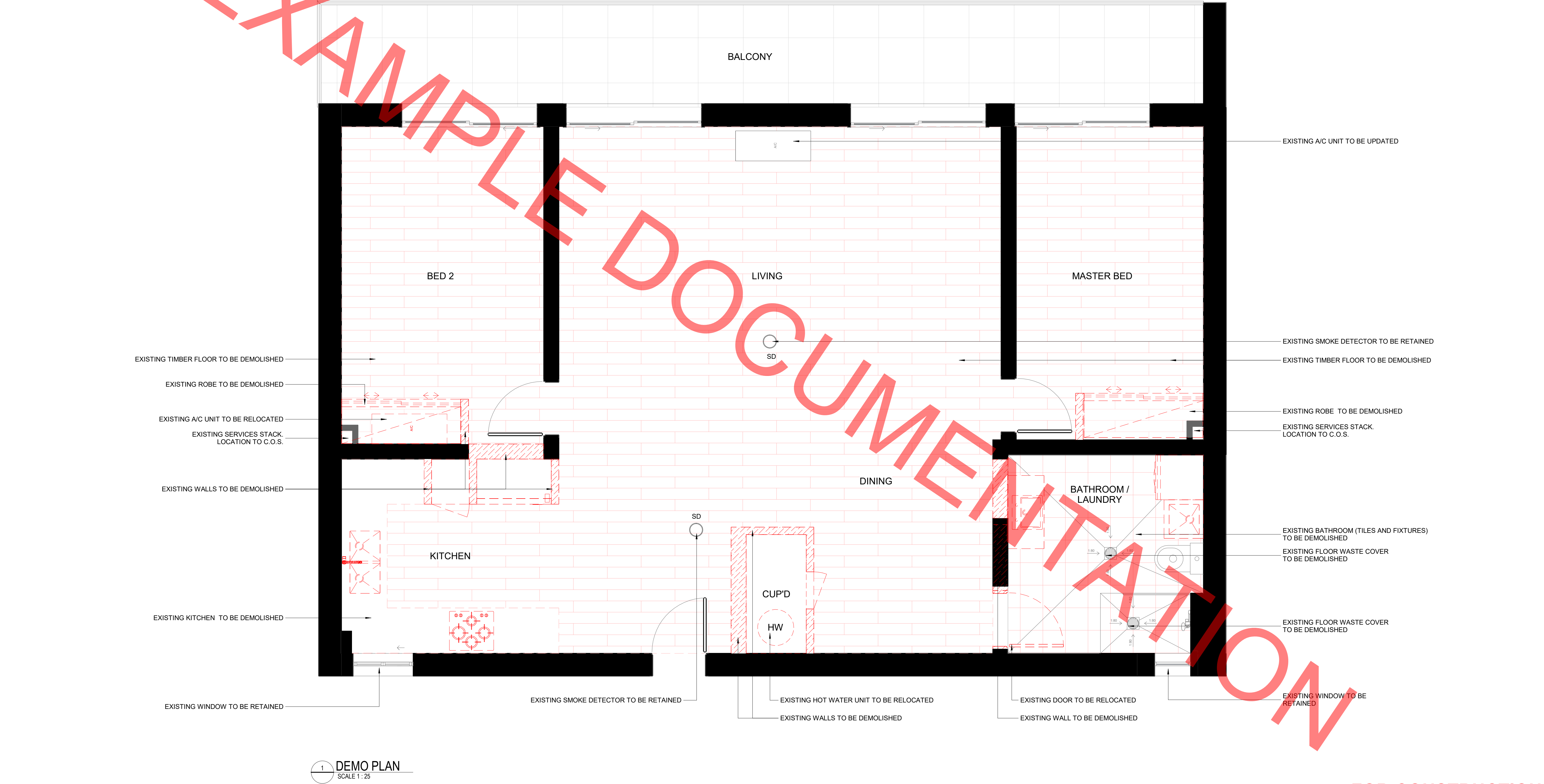
DRAWING TITLE:
EXISTING PLAN
SHEET NUMBER:
0100
DATE: 02/09/2025

REV:
B

ARCHITECT:
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REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: DEMO PLAN		DRAWING NO: 0200		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
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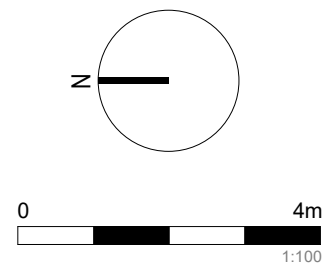
LEGEND:

 EXISTING FLOOR WASTE TO REMAIN IN PLACE

 EXISTING SMOKE DETECTOR TO REMAIN IN PLACE, LOCATION TO BE CONFIRM ON SITE. AS PER AS3786-2014.

 WALL TO BE DEMOLISHED

 FLOOR WASTE TO BE DEMOLISHED



SCALE: As indicated @ A1

PROJECT:
#XXXX
APARTMENT RENOVATION
XXXX

CLIENT: XXXX

DRAWING TITLE:
DEMO PLAN

SHEET NUMBER:
0200

DATE: 02/09/2025

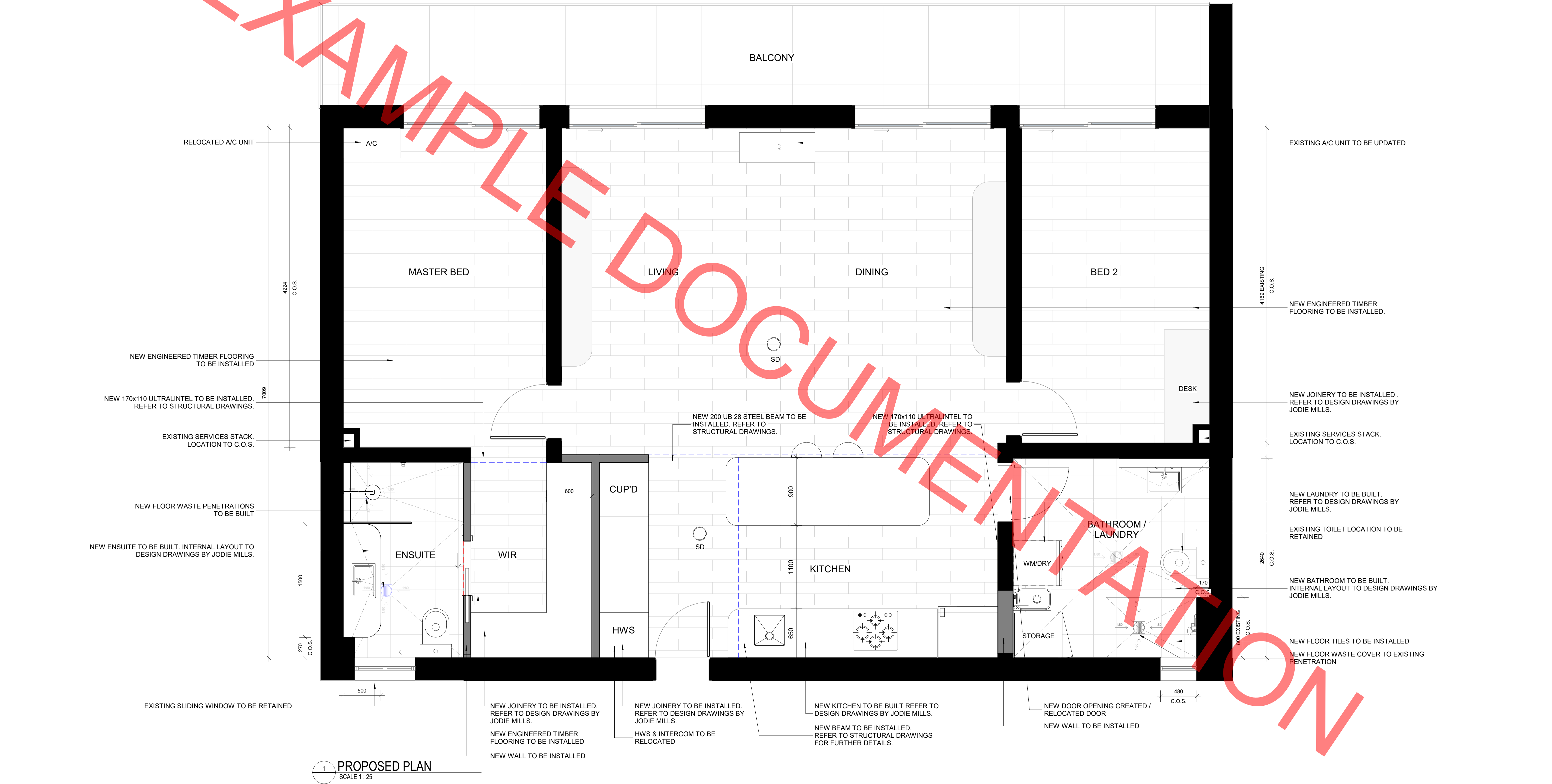
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REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: PROPOSED PLAN		DRAWING NO: 0300		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
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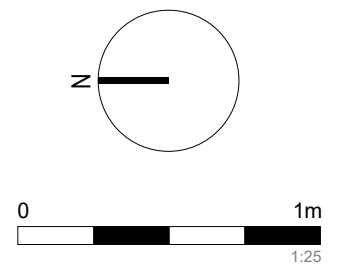
LEGEND:

EXISTING FLOOR WASTE TO REMAIN IN PLACE

EXISTING SMOKE DETECTOR TO REMAIN IN PLACE, LOCATION TO BE CONFIRM ON SITE. AS PER AS3786-2014.

NEW WALL TO BE BUILT

NEW FLOOR WASTE PENETRATION



SCALE: As indicated @ A1

PROJECT:
#XXXX
APARTMENT RENOVATION
XXXX

CLIENT: XXXX

DRAWING TITLE:
PROPOSED PLAN

SHEET NUMBER:
0300

DATE: 02/09/2025

REV:
B

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REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: BATHROOM WATERPROOFING DETAILS		DRAWING NO: 0400		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
B	02/09/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439

WET AREA NOTES:

- Floor finish laid to fall to floor waste in all wet areas.
- The robe hook should be on the central line of the door.
- Shower hoses are locted centrally within the shower space.
- All fixture fittings in this drawing are indicative only.
- All dimensions need to be checked on site.
- All appliances, fixtures, fittings are indicative only and subject to finish schedule.
- For floor waste set-out refer to hydraulic engineer drawings.
- Showers less than 1500mm wide require 600mm door. >1500mm require fixed glass panel.
- Waterproofing membranes to be compliant to AS4858:2004 and be installed as per AS3740:2021. Builder to provide a proprietary membrane system suitable for the intended internal wet area waterproofing. Builder to ensure the extent of waterproofing is as per the requirements of BCA 2022 F2D2. Refer requirements are outlined in section 0621Waterproofing - Wet Areas of the Architectural Specification.

BCA NOTES:

- Refer to Architectural Specifications Document.

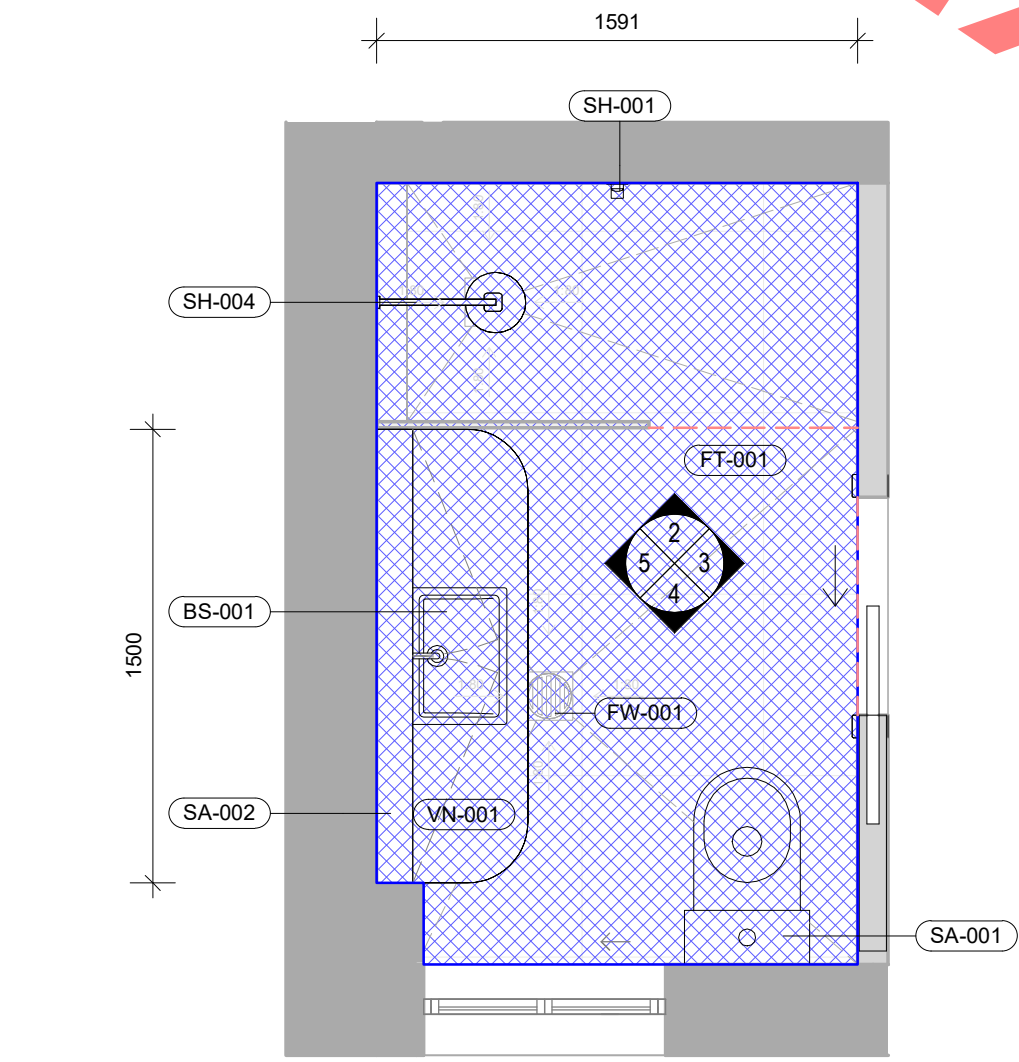
FINISHES NOTES:

- Refer to Architectural Finish Schedule for internal and external finishes and FF&E.
- Refer to Manufacturer details and specifications for installation and maintenance for all materials.
- Floor tiles in kitchens to align with kickboard unless noted otherwise.

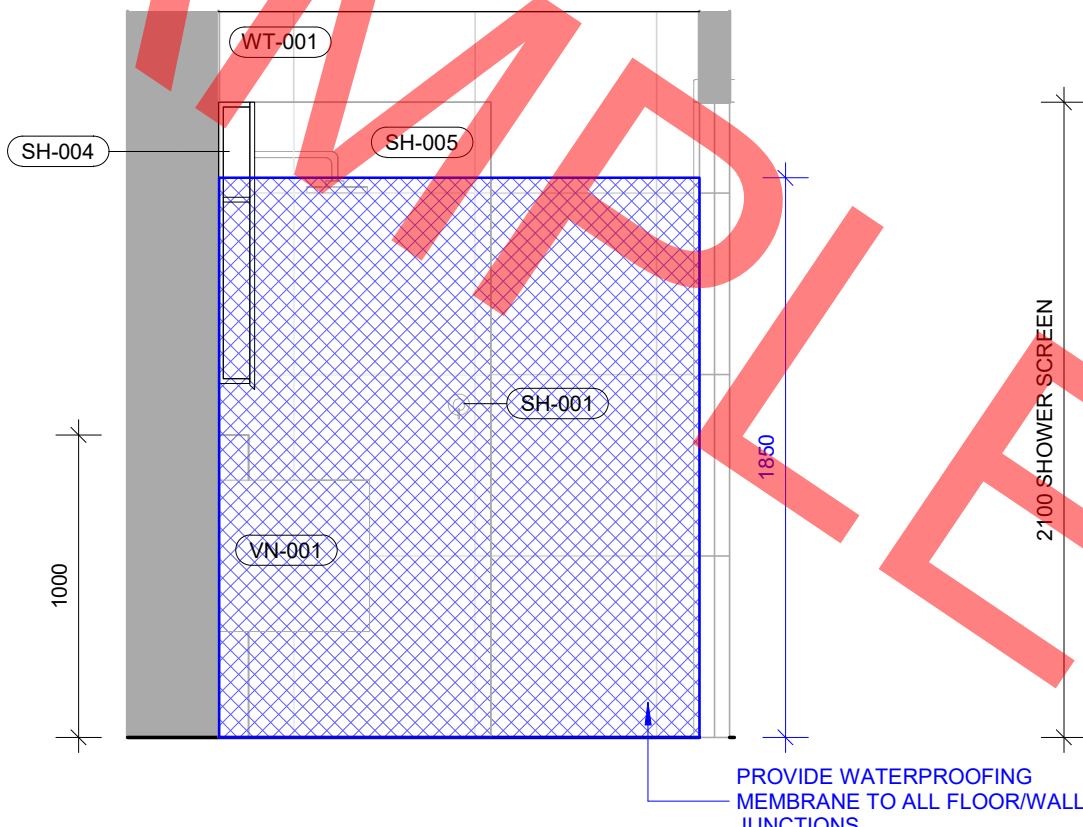
NOTE: FIXTURES AS PER INTERIOR DESIGNERS DWGS AND SPEC. INDICATIVE FIXTURES SHOWN GHOSTED FOR CLARITY

KEYNOTE LEGEND

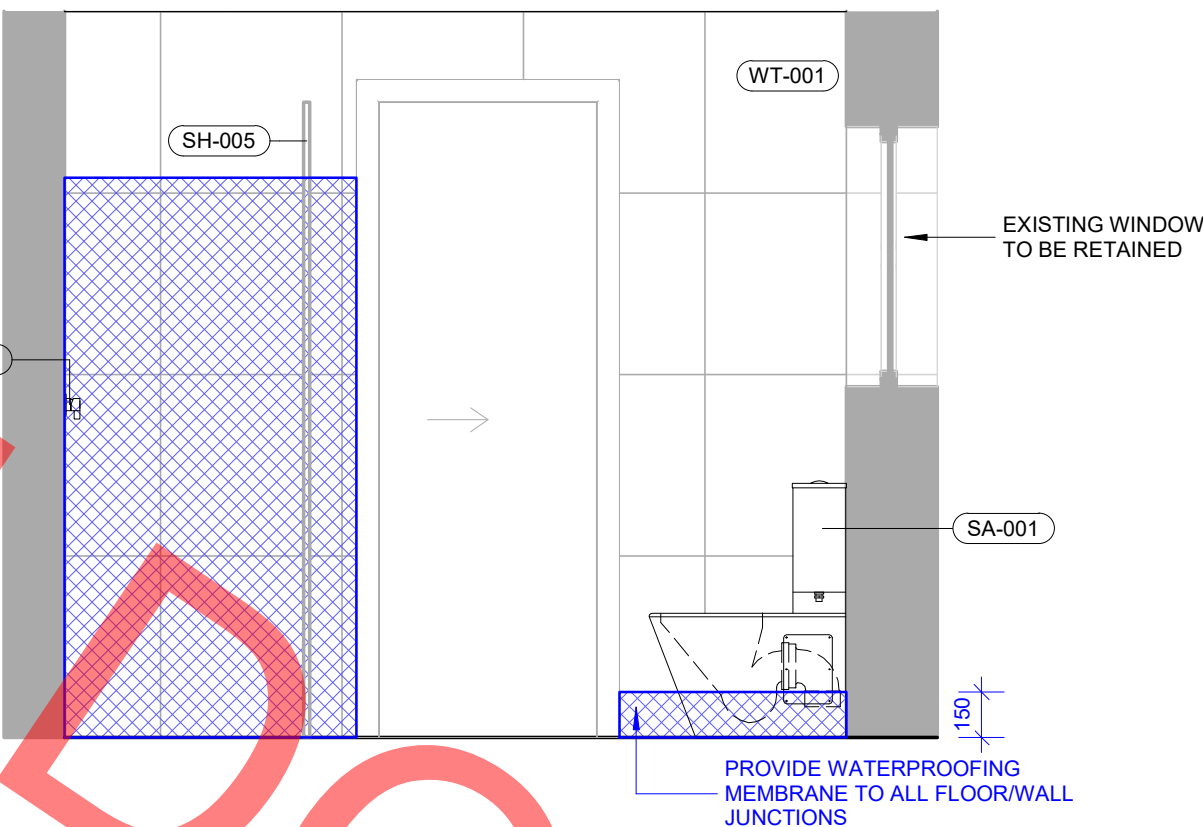
CODE	DESCRIPTION
BS-001	BASIN
FT-001	FLOOR TILE
FW-001	FLOOR WASTE
LU-001	LAUNDRY UNIT
LU-003	WASHING MACHINE
LU-004	DRYER
SA-001	TOILET
SA-002	MIRROR CABINET
SH-001	SHOWER MIXER
SH-003	SHOWER HEAD
SH-004	SHOWER HEAD
SH-005	SHOWER SCREEN
TA-001	BASIN MIXER
VN-001	VANITY TYPE 1
VN-002	VANITY TYPE 2
WT-001	WALL TILE



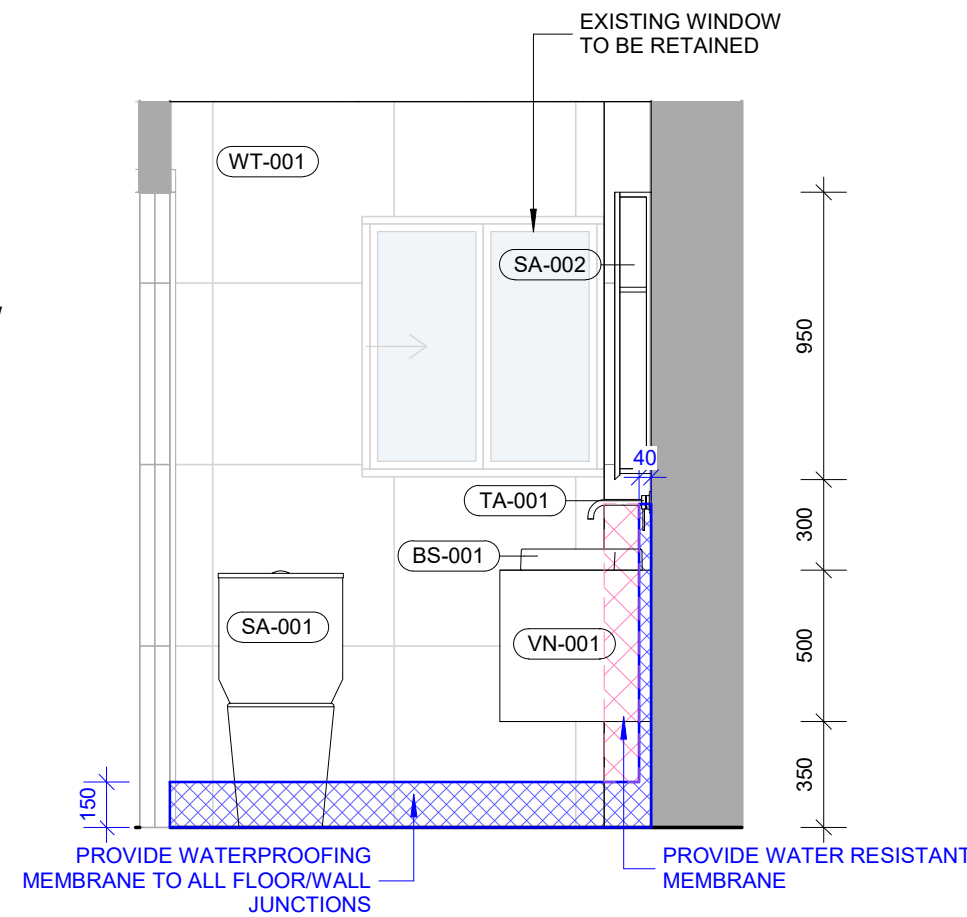
1 ENSUITE - FLOOR PLAN
SCALE 1 : 25



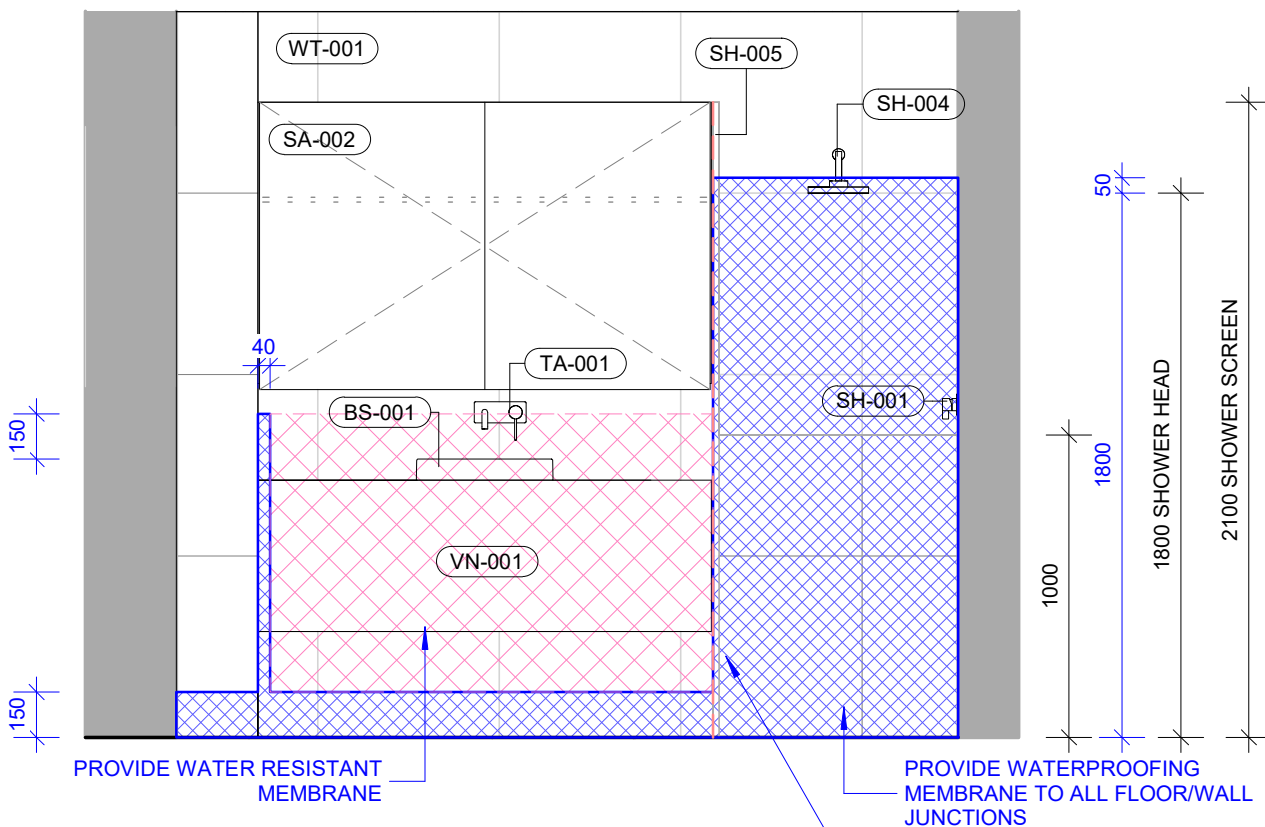
2 ENSUITE - ELEVATION 2
SCALE 1 : 25



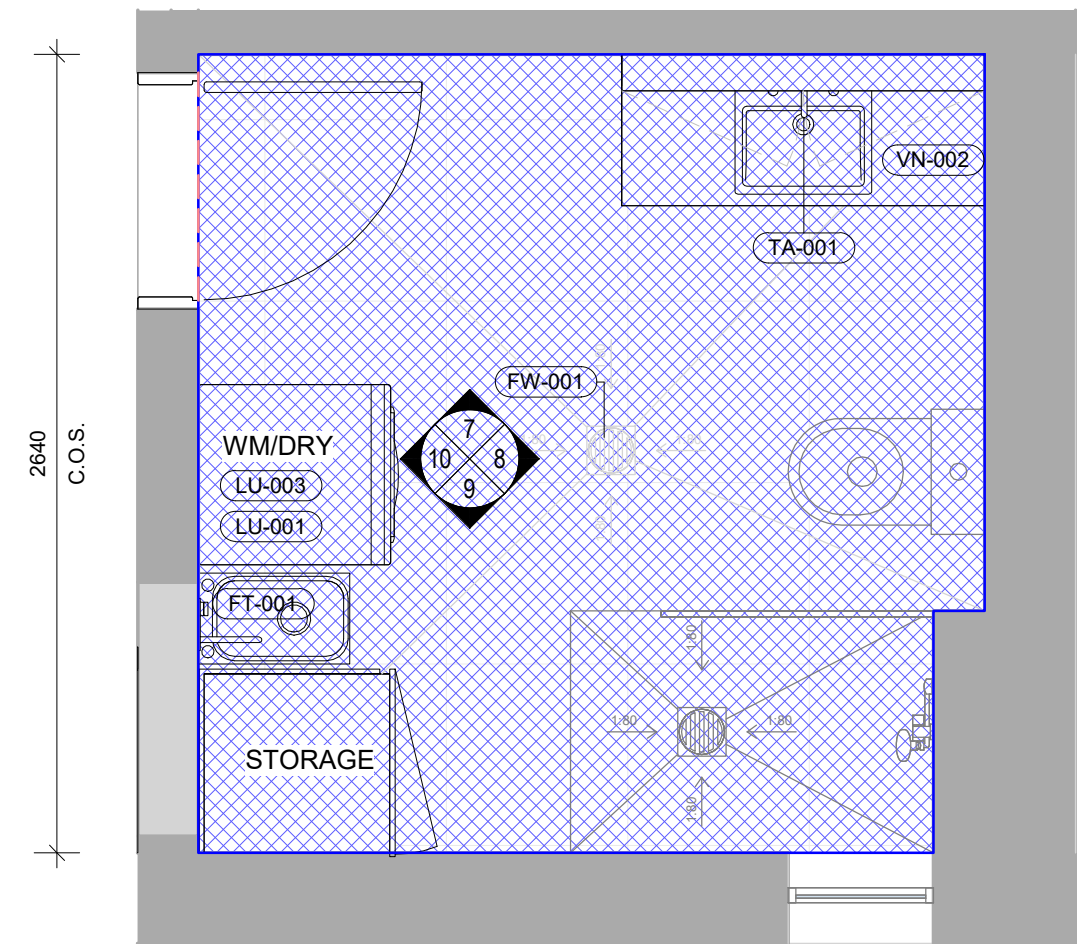
3 ENSUITE - ELEVATION 3
SCALE 1 : 25



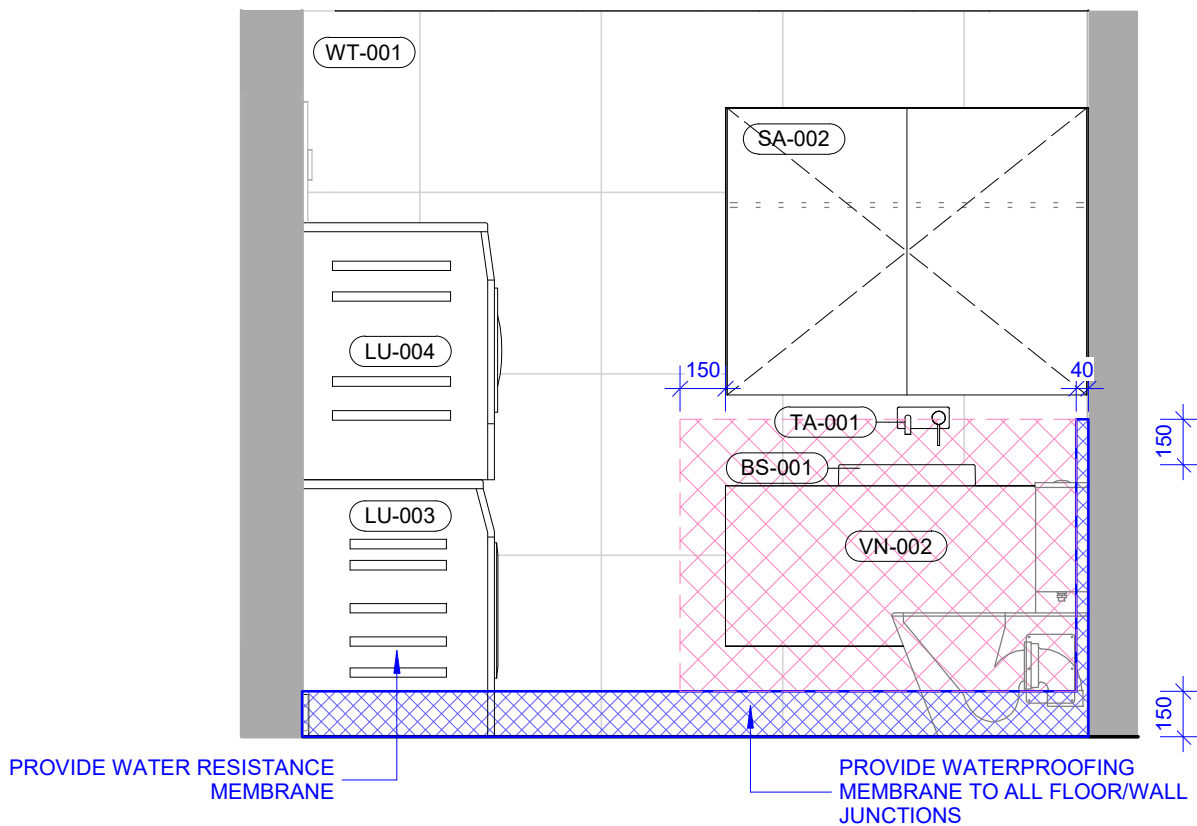
4 ENSUITE - ELEVATION 4
SCALE 1 : 25



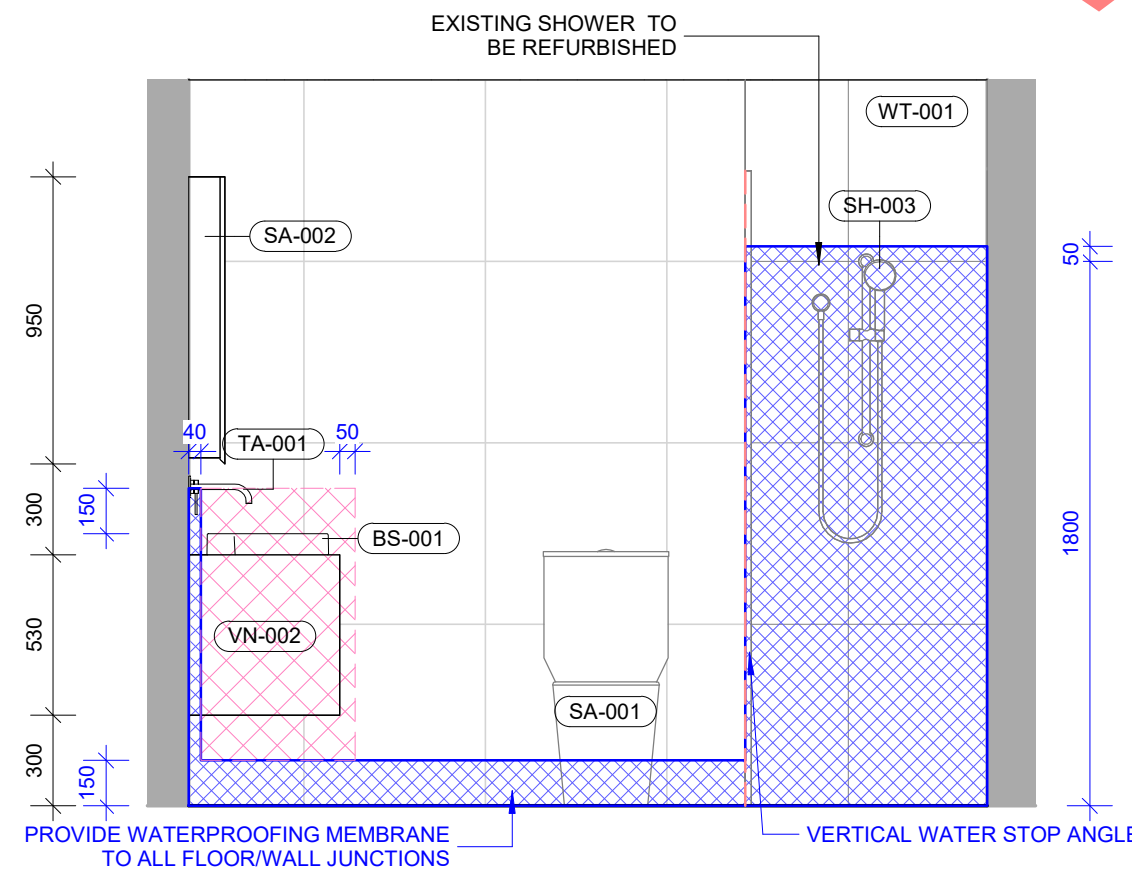
5 ENSUITE - ELEVATION 5
SCALE 1 : 25



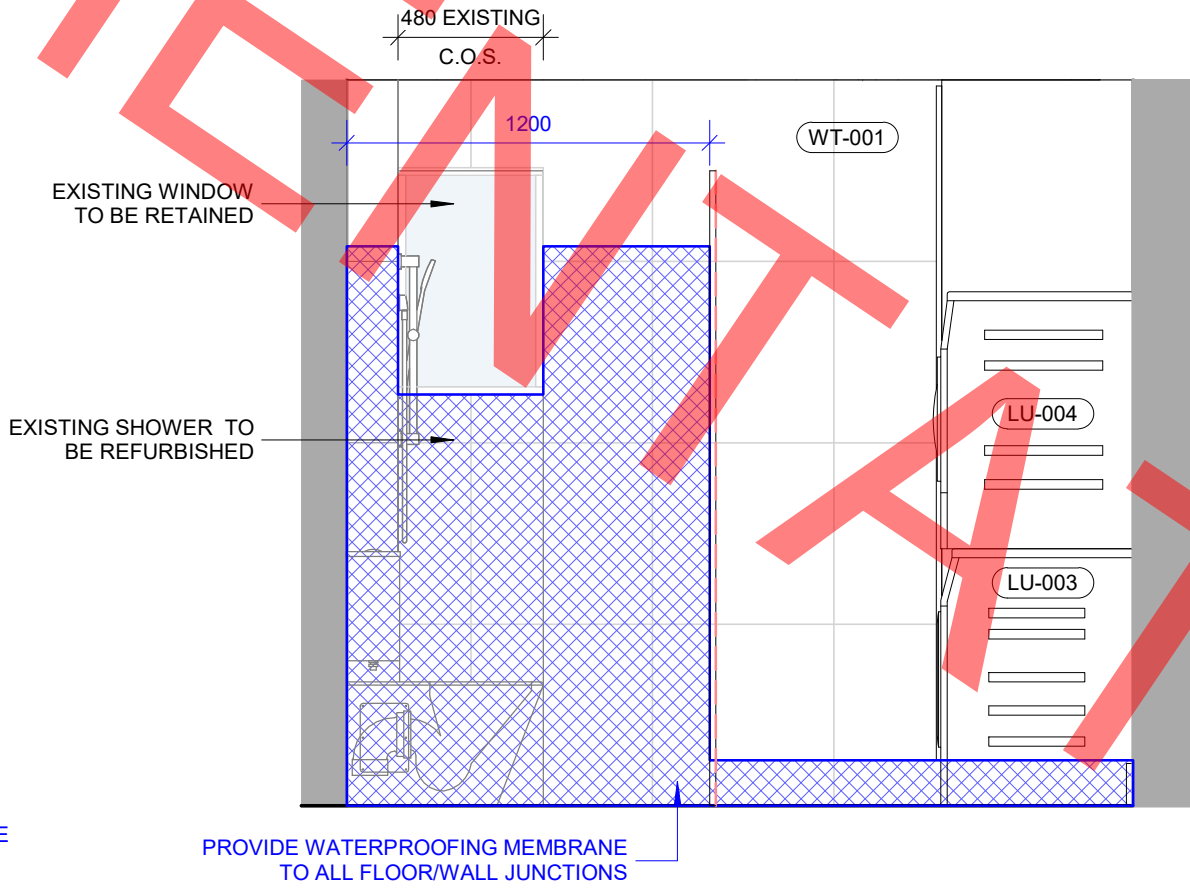
6 BATHROOM - FLOOR PLAN
SCALE 1 : 25



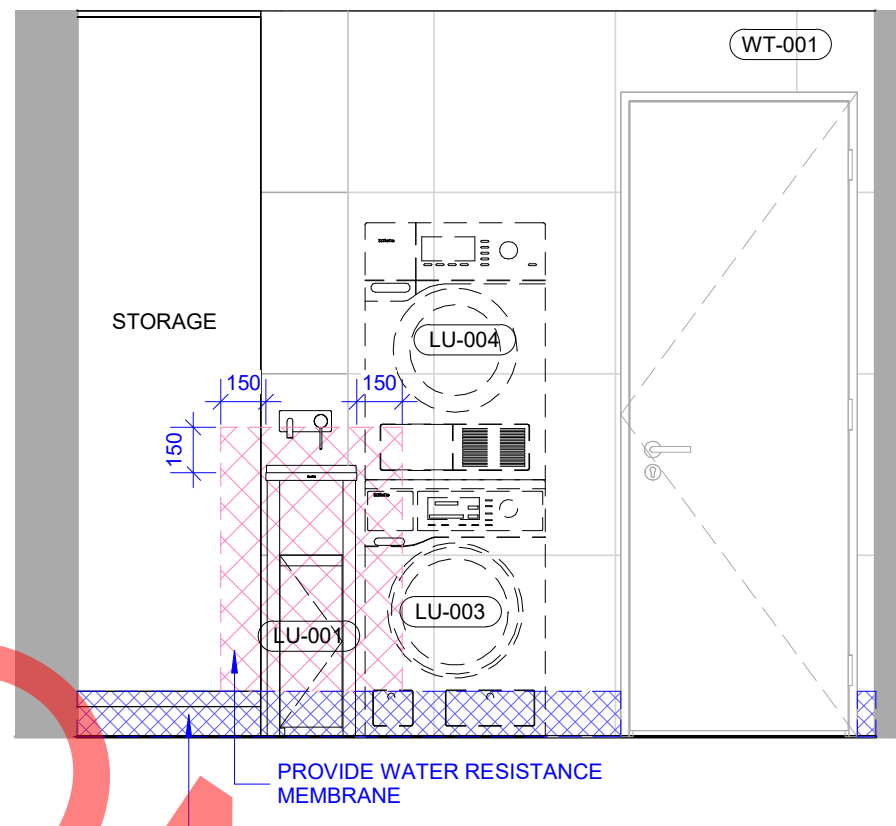
7 BATHROOM - ELEVATION 7
SCALE 1 : 25



8 BATHROOM - ELEVATION 8
SCALE 1 : 25



9 BATHROOM - ELEVATION 9
SCALE 1 : 25



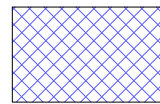
10 BATHROOM - ELEVATION 10
SCALE 1 : 25

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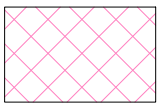
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17/10/2025 4:21:51 PM

LEGEND:



WPM 01
WATERPROOFING MEMBRANE TO INTERNAL
WET AREAS (WET AREA FLOOR)
APPLIED IN ACCORDANCE WITH NCC 2022



WPM 02
INTERNAL WATER RESISTANT MEMBRANE TO
WET AREAS (WET AREA WALL)
APPLIED IN ACCORDANCE WITH NCC 2022

--- WATERSTOP ANGLE

NOTE:

A MINIMUM FALL OF 1:80 MUST BE ACHIEVED AT THE FINISHED FLOOR LEVEL IN INTERNAL WET AREAS TO COMPLY WITH NCC 2022.
AS THE STRUCTURAL SUBSTRATE IS EXISTING WITH UNIDENTIFIED FALLS, THE REQUIRED MINIMUM FALL OF 1:80 MUST BE ACHIEVED WITH AN ENGINEERED SCREED TO ENSURE EFFECTIVE DRAINAGE TO THE OUTLET AND COMPLIANCE WITH NCC 2022.



SCALE: As indicated @
A1

PROJECT:

#XXXX
APARTMENT
RENOVATION
XXXX

CLIENT: XXXX

DRAWING TITLE:

BATHROOM
WATERPROOFING
DETAILS
SHEET NUMBER:
0400
DATE: 02/09/2025

REV:

B

ARCHITECT:



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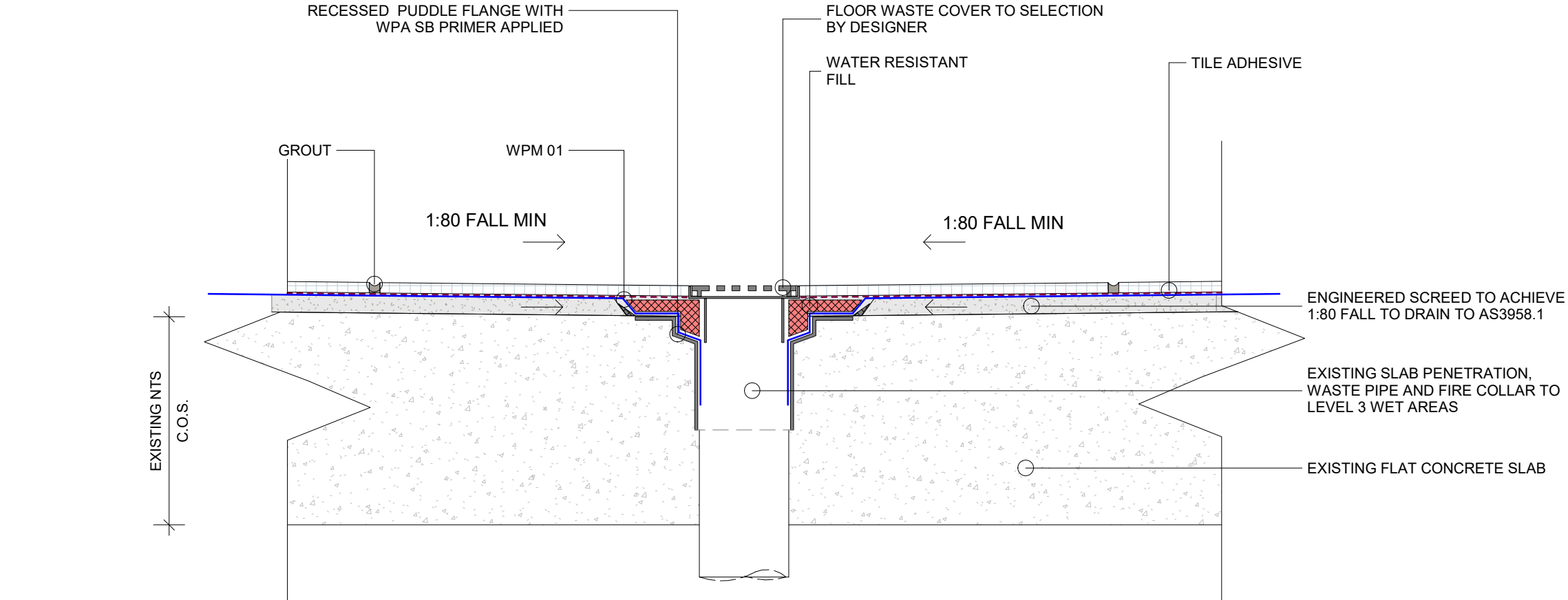
FOR CONSTRUCTION

REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: WATERPROOFING DETAILS		DRAWING NO: 0500		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
B	02/09/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439

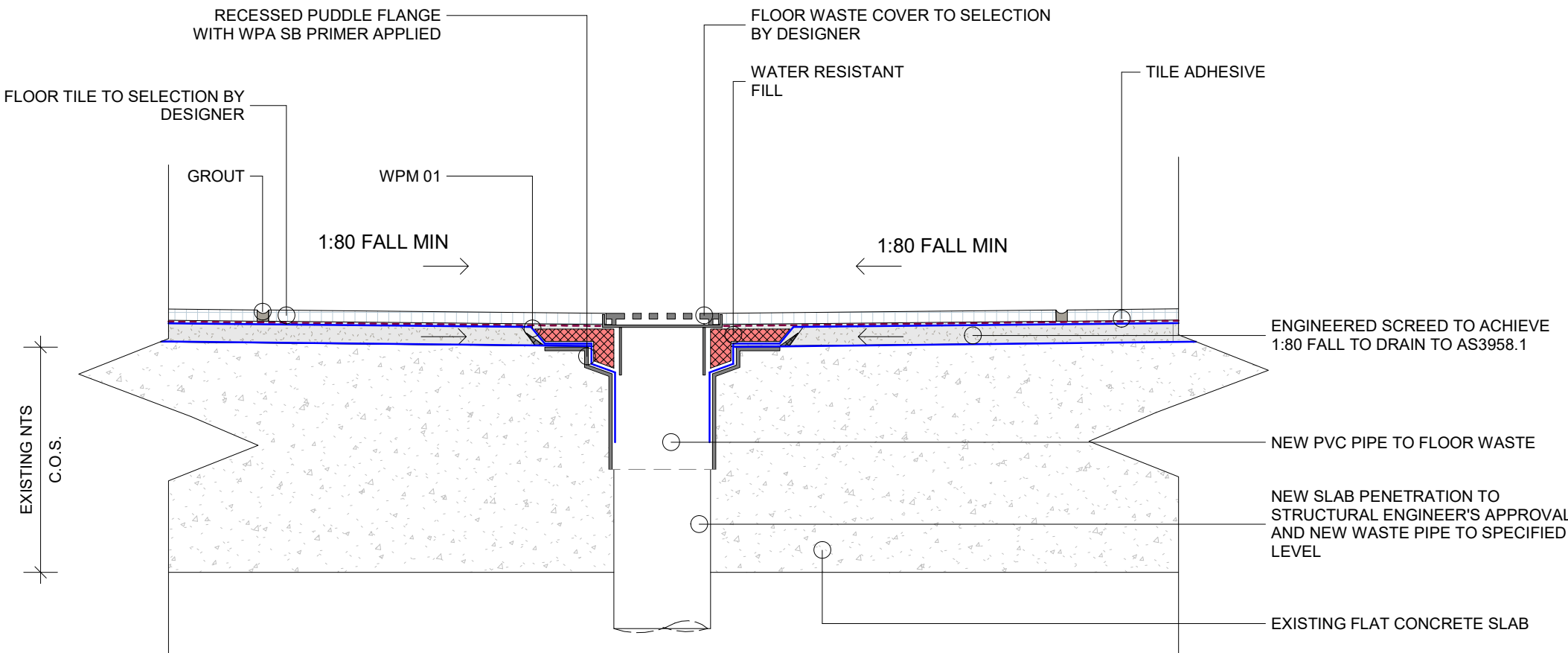
WATERPROOFING NOTES:

1. WATERPROOFING MEMBRANES MUST COMPLY WITH AS 4858:2004. THE BUILDER IS TO ENSURE THE EXTENT OF WATERPROOFING IS IN ACCORDANCE WITH THE REQUIREMENTS OF NCC 2022 F2D2 AND INSTALLATION OF MEMBRANE AND BOND BREAKER FILLETS ARE CARRIED OUT AS PER AS 3740:2021.

NOTE: FIXTURES , FITTINGS AND LOCATIONS ON THIS DRAWING ARE SHOWN INDICATIVELY ONLY AS PER DESIGN DRAWINGS AND SPECIFICATIONS BY JODIE MILLS.

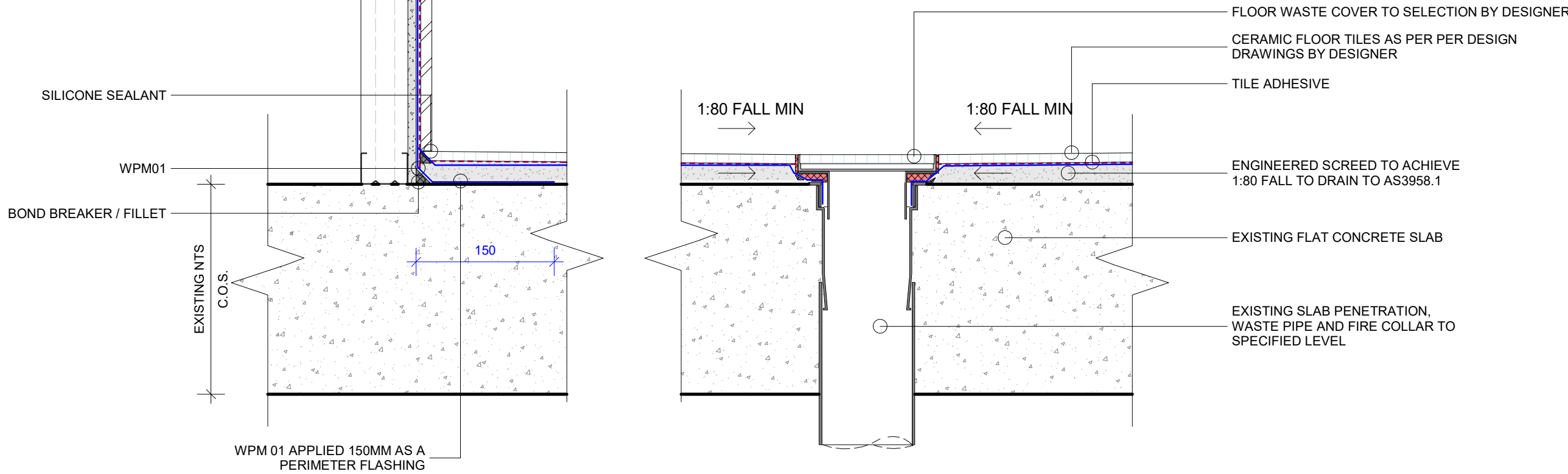


2 TYPICAL FLOOR WASTE DETAIL (EXISTING PENETRATION) - WET AREA
SCALE 1:5



3 TYPICAL FLOOR WASTE DETAIL (NEW PENETRATION) - WET AREA
SCALE 1:5

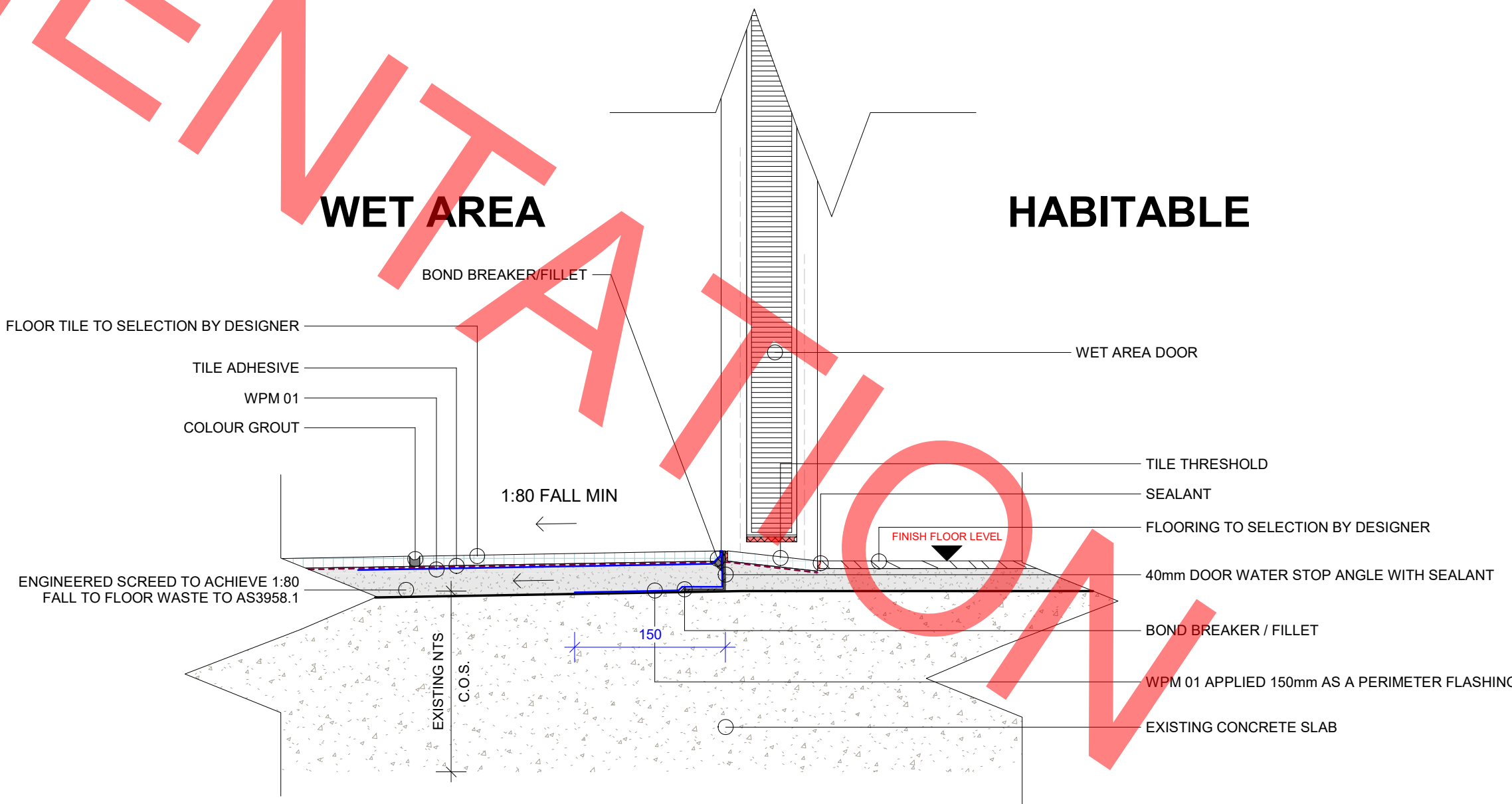
SHOWER



1 SHOWER - WP- TYPICAL SHOWER DRAINAGE DETAIL
SCALE 1:5

WET AREA

HABITABLE



4 WET AREA - WET-TO-HABITABLE THRESHOLD DETAIL
SCALE 1:5

FOR CONSTRUCTION

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LEGEND:

0 200mm
SCALE: As indicated @
A1

PROJECT:
#XXXX
APARTMENT
RENOVATION
XXXX
CLIENT: XXXX

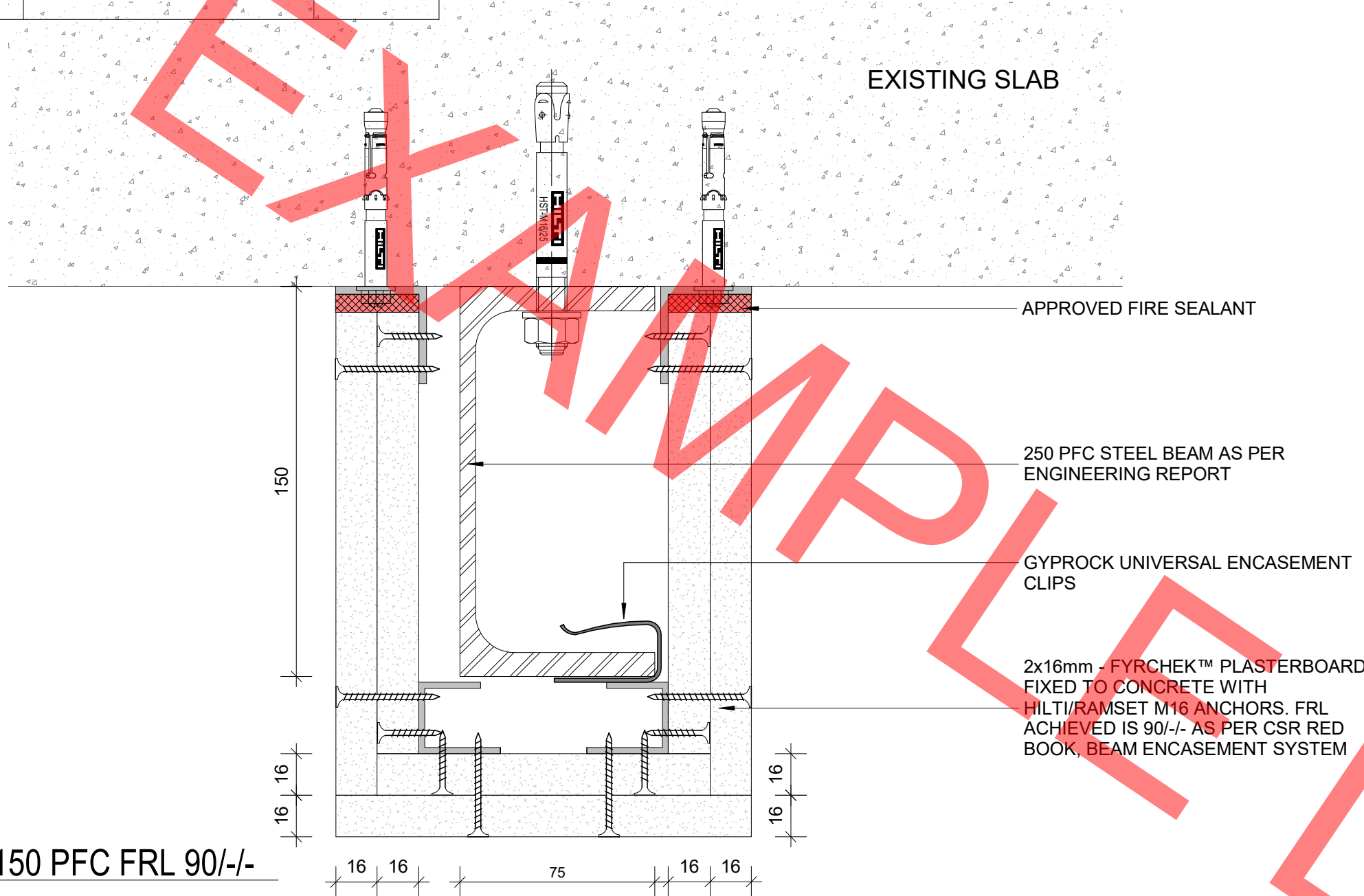
DRAWING TITLE:
WATERPROOFING
DETAILS
SHEET NUMBER:
0500
DATE: 02/09/2025

REV:
B

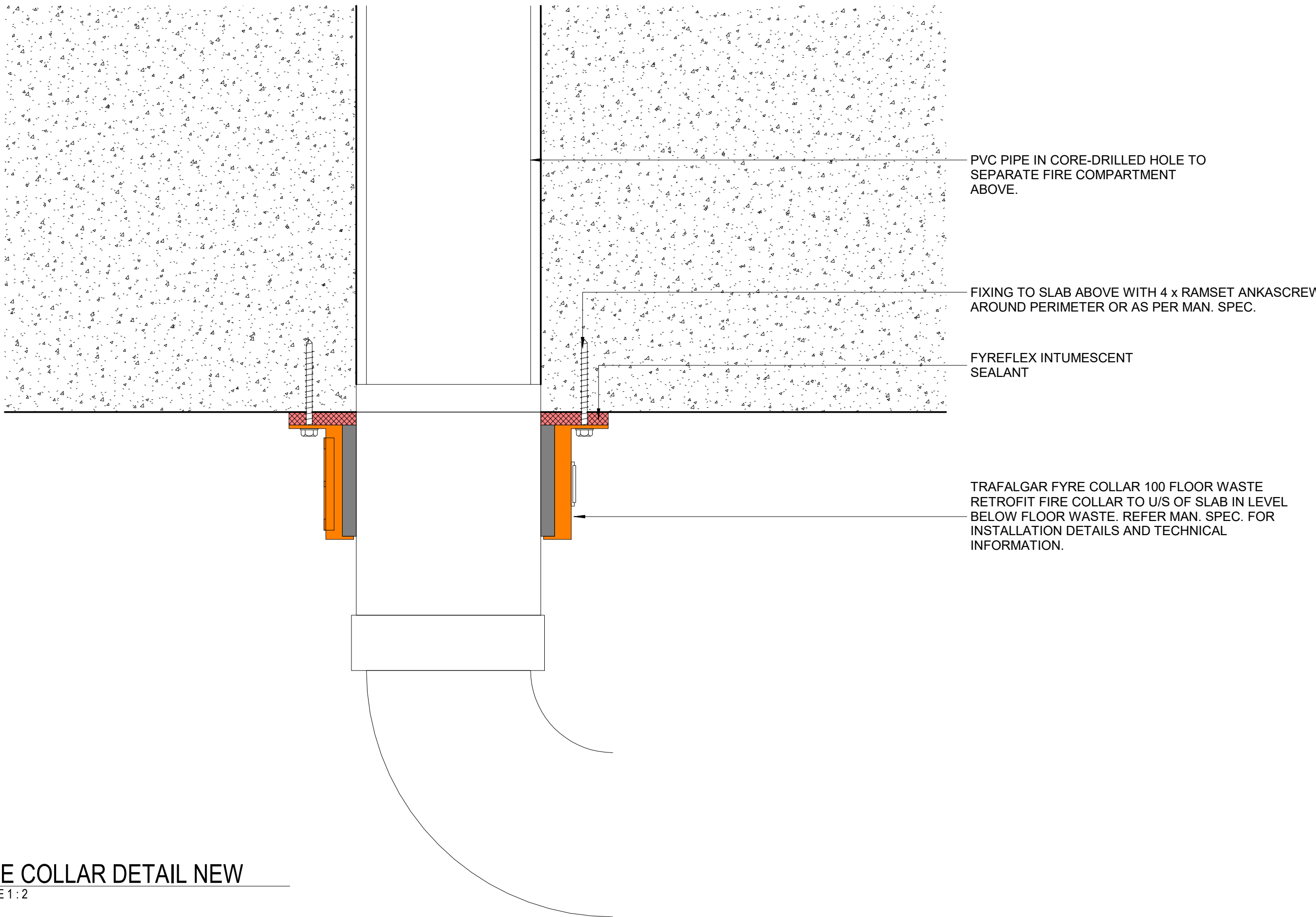
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REGULATED DESIGN RECORD				
PROJECT ADDRESS: XXXX				
PROJECT TITLE: APARTMENT RENOVATION				
CONSENT NO:		BODY CORPORATE REG NO:		
DRAWING TITLE: FIRE RATING DETAILS		DRAWING NO: 0600		
REV	DATE	DESCRIPTION	DP FULL NAME	REG NO.
A	22/08/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439
B	02/09/2025	ISSUED FOR CONSTRUCTION	JAMES ALEXANDER-HATZIPLIS	DEP0000439

150 PFC FRL 90/-/-

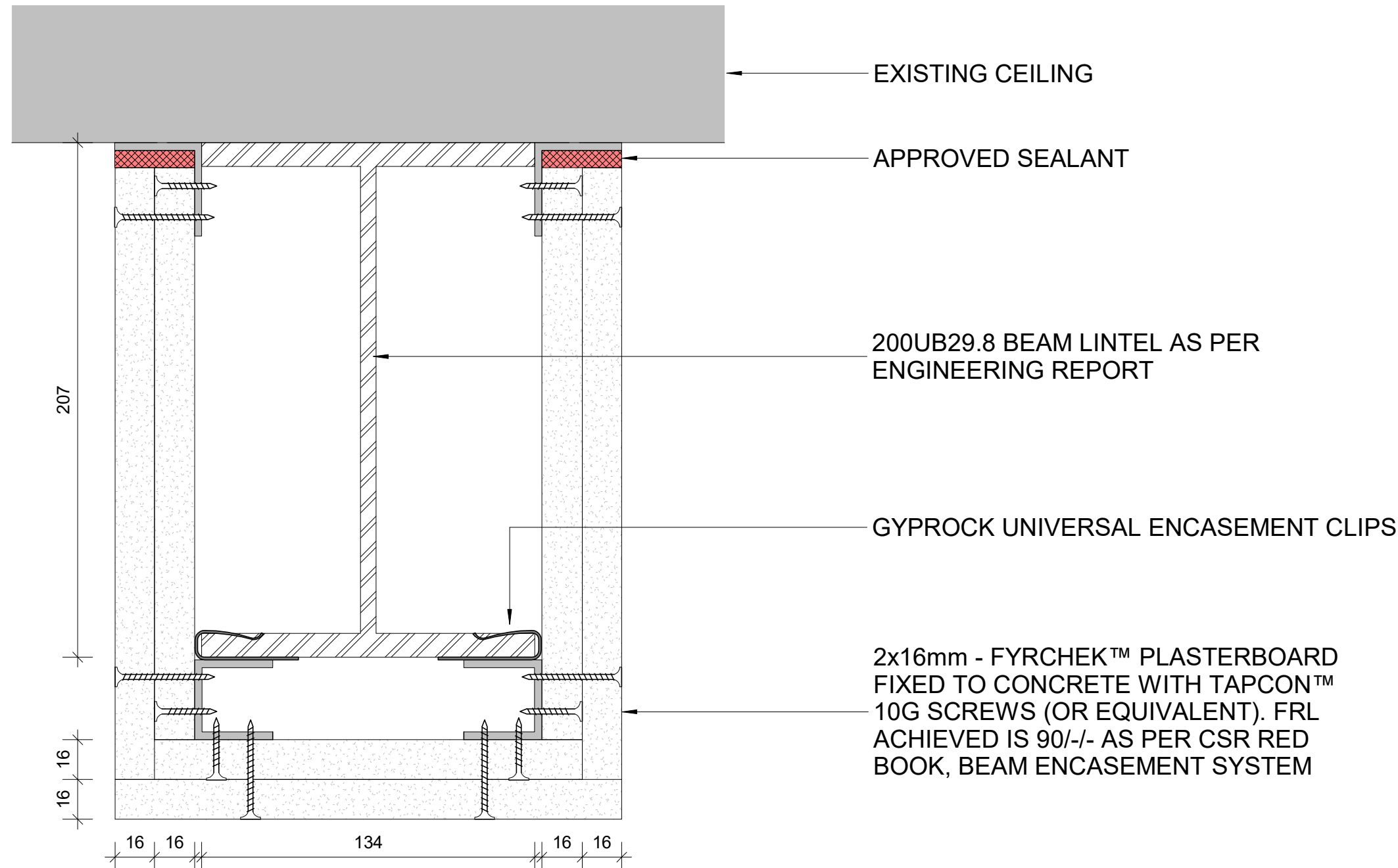


1 (PFC FIREPROOFING) 150 PFC FRL 90/-/-
SCALE 1:2

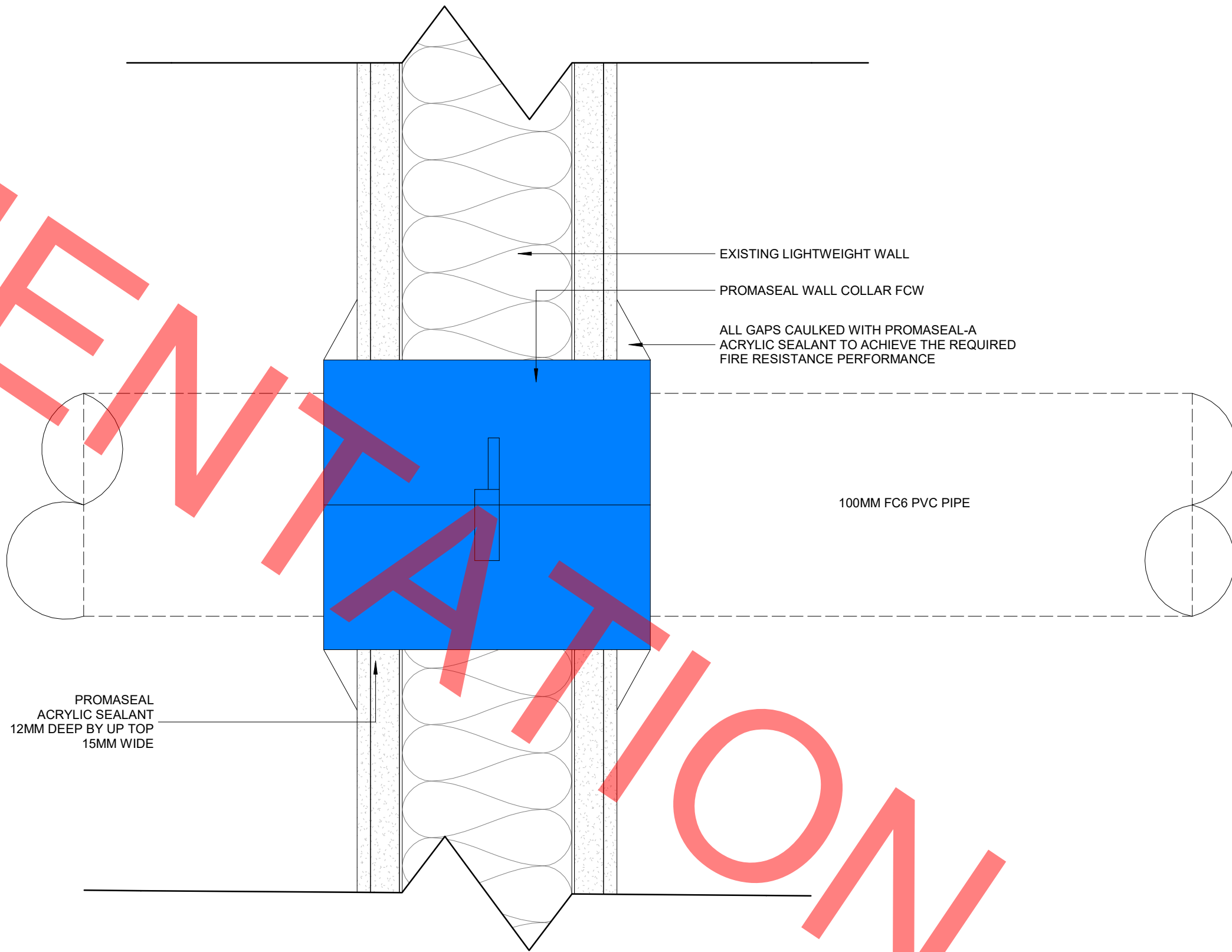


3 FIRE COLLAR DETAIL NEW
SCALE 1:2

200 UB 29.8 FRL 90/-/-



2 (UB) 200 UB 29.8 FRL 90/-/-
SCALE 1:2



4 FIRE - WALL PENETRATION FIRE RATING - LIGHTWEIGHT
SCALE 1:2

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LEGEND:

PROJECT:
#XXXX
APARTMENT
RENOVATION
XXXX

CLIENT: XXXX

DRAWING TITLE:
FIRE RATING DETAILS

SHEET NUMBER:
0600

DATE: 02/09/2025

REV:
B

ARCHITECT:

C2A

Class 2 Architects

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SCALE: 1:2 @ A1